

EXHIBIT A
FORM OF SPECIAL WARRANTY DEED

WHEN RECORDED, MAIL TO:

THE SKY LODGE
SPECIAL WARRANTY DEED
(Shared Interest)

Easy Street Partners, LLC, a Utah limited liability company ("Grantor"), does hereby convey against all claiming by, through or under it to _____ as _____ whose address is _____ ("Grantee"), for the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the following described property and interests in Summit County, State of Utah:

Shared Interest _____ consisting of an undivided 1/8 interest in Shared Interest Unit _____, according to the Declaration of Condominium for Union Square, recorded in Book _____ at Page _____, on _____, 2005 in the official records of the Recorder of the County of Summit, State of Utah ("Declaration").

TOGETHER WITH: The exclusive right to possession and occupancy of the aforementioned Shared Interest Unit in The Sky Lodge during certain Vacation Times in accordance with the Shared Ownership Regime and the Reservation Policies and Procedures.

TOGETHER WITH: The appurtenant undivided ownership interest in and to the Common Areas and Facilities as more particularly described in the Declaration.

THIS CONVEYANCE IS MADE SUBJECT TO THE FOLLOWING:

ALL OF THE TERMS, PROVISIONS, CONDITIONS, RIGHTS, PRIVILEGES, OBLIGATIONS, EASEMENTS, LIENS AND LIMITATIONS ON TITLE SET FORTH IN THE DECLARATION; AND

SUCH OTHER COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, RIGHTS OF WAY AND OTHER MATTERS OF RECORD, IF ANY, WHICH MAY NOW AFFECT THE ABOVE-DESCRIBED PROPERTY.

The terms of this Special Warranty Deed, which the Grantee, by acceptance thereof, acknowledges to be binding on it, shall inure to the benefit of Grantor and the Owners of all Shared Interests and Units in The Sky Lodge heretofore or hereafter conveyed by Grantor.

Grantee, by acceptance hereof and by agreement with Grantor, hereby expressly assumes and agrees to be bound by and comply with all of the covenants, terms, and provisions set forth in the aforesaid Declaration and the rules and regulations made thereunder, including, but not limited to, the obligation to make payment of all Common Assessments as provided for therein. Grantee acknowledges that ownership of the Shared Interest hereby conveyed authorizes and entitles Grantee to occupy a Shared Interest Unit only in accordance with the Declaration, the exhibits to the Declaration, the Reservation Policies and Procedures, and any other rules and regulations promulgated under the Declaration. Grantee acknowledges that Grantee may not subdivide the Shared Interest or the Shared Interest Unit.

Grantee, by accepting this Deed, acknowledges that Grantee is a member of the Association. Each membership therein shall be appurtenant to Grantee's Shared Interest and shall be transferred automatically by conveyance of that Shared Interest. Ownership of a Shared Interest within The Sky Lodge cannot be separated from the membership in the Association.

appurtenant thereto, except as otherwise provided by the Declaration, and any devise, encumbrance, conveyance or other disposition, respectively, of a Shared Interest shall include the Grantor's membership in the Association and rights appurtenant thereto, whether or not specifically named in the instrument of transfer.

Grantor and their heirs, designees, successors and assigns covenant with Grantor and with each other that no Owner has the power to execute any instrument, or take any action which will encumber the Shared Interest or Unit of any other Owner, and that this covenant is hereby incorporated by reference in all future conveyances of the subject property and runs with the land.

The plural number as used herein shall equally include the singular. The masculine or feminine gender as used herein shall equally include the neuter. Unless otherwise provided herein, all capitalized terms used in this Special Warranty Deed shall have the meanings set forth in the Declaration.

The person who signs this deed hereby certifies that this deed and the transfer represented thereby was duly authorized by the Grantor.

IN WITNESS WHEREOF, the Grantor has caused this instrument to be executed by its duly authorized representative this _____ day of _____ 200__.

EASY STREET PARTNERS, LLC,
a Utah limited liability company

By: AVG-SL, LLC
Its: Manager

By: _____
Name: _____
Its: Manager

MAIL TAX STATEMENTS TO:

Management Committee
Union Square Owners Association, Inc.

Park City, Utah _____

STATE OF UTAH
COUNTY OF SUMMIT

The foregoing Special Warranty Deed was acknowledged before me on this _____ day of _____, 200____, by
_____ of EASY STREET PARTNERS, LLC, a Utah limited liability company.

NOTARY PUBLIC
Residing at: _____

My Commission Expires:

EXHIBIT B
LIST OF FURNITURE, FIXTURES AND EQUIPMENT

The Sky Lodge – Interior Design Features

The Lodge will have 22 residences in total:

- Five two bedroom units
- Seventeen three bedroom units comprised of:
 - Two one story flats
 - Ten two story town homes
 - Four two story Sky Homes
 - The single top floor, three bedroom Penthouse.

Typical Two Bedroom Residence Features

Entry

- Single door entry with wood foyer.
- Electronic Lockset
- Door bell with privacy peep hole

The Great Room

Open gathering area comprised of a living room area, kitchen area, and dining area.

Kitchen

- Island with counter seating, work area, and U-line wine cooler.
- Slab granite countertops.
- Stone or granite back splash.
- Pro Series Appliances- Stainless Steel Finish.
- Ceramic electric cook top with pop up down draft venting
- 30" Double Oven / Microwave
- 36" Single Door Refrigerator
- 36" Dishwasher
- Double basin stainless steel sink with premium designer faucets & garbage disposal.
- Wood cabinetry.
- Wood floors.
- Painted walls

Dining Area

- Wood floor
- Painted Walls
- Dining table for four

Living Area

- Gas fireplace
- Seating area with couch, side tables, lamps and side chair.
- Art & Accessories
- Carpeted area
- Painted walls with duplex surfaces.
- HDTV – 32" widescreen flat panel
- Surround sound system
- Integrated docking station for iPod.

Deck / Patio

- Hot Tub
- Patio chairs with table

**The Master Bedroom Suite
Bedroom**

- King size bed – Sealy Posturepedic CloudLine Signature mattress & box spring. Six king size pillows per bed.

- Bench at foot of bed
- Side tables on both sides of bed with adjustable table lamps and a telephone handset on each.
- Gas fireplace
- Art & Accessories
- Chair with small side table and floor lamp.
- Dresser with four drawers.
- Hanging Closet with electronic safe.
- Window covering
- HDTV - 27" widescreen flat panel
- Carpeted area
- Painted walls.

Bath

- Dramatic double sink vanity with slab granite or stone surface and designer faucets and fixtures.
- Lighted, wall mounted make up mirror.
- Glass shower area with dual heads.
- Soaking Tub
- Enclosed toilet area.
- Ceramic Tile Flooring.
- Painted walls with duplex surfaces.

The Guest Bedroom

Bedroom

- King size bed with Sealy Posturepedic CloudLine Signature mattress & box spring. Six king size pillows per bed.
- Side tables on both sides of bed with adjustable table lamps and a telephone handset on each.
- Gas fireplace
- Art & Accessories
- Dresser with four drawers.
- Hanging closet with electronic safe.
- Window covering.
- HDTV - 27" widescreen flat panel
- Carpeted area
- Painted walls.

Bath

- Sink vanity with slab granite or stone surface and unique faucets and fixtures.
- Lighted, wall mounted make up mirror.
- Glass enclosed shower with two wall mounted shower heads.
- Enclosed toilet area
- Ceramic Tile flooring
- Painted walls
- Other Items
- Washer / dryer combo unit.

Typical Three Bedroom Residence Features

Entry

- Single door entry with wood foyer.
- Electronic Lockset
- Door bell with privacy peep hole

The Great Room

Open gathering area comprised of a living room area, kitchen area, and dining area.

Kitchen

- Island with counter seating, work area, and U-line wine cooler.
- Slab granite countertops.

- Stone or granite back splash.
- Pro Series Appliances- Stainless Steel Finish.
- Ceramic electric cook top with pop up down draft venting
- 30" Double Oven / Microwave
- 36" Single Door Refrigerator
- 30" Dishwasher
- Double basins stainless steel sink with premium designer faucets & garbage disposal.
- Wood cabinetry.
- Wood floors.
- Painted walls

Dining Area

- Dining Table for six
- Wood floor
- Painted Walls

Living Area

- Gas fireplace
- Seating area with couch, side tables, lamps and side chair.
- Art & Accessories
- Carpeted area
- Painted walls with duplex surfaces.
- HDTV - 32" widescreen flat panel
- Surround sound system
- Integrated docking station for iPod.

Deck / Patio

- Hot Tub

The Master Bedroom Suite

Bedroom

- King size bed - Sealy Posturepedic CloudNine Signature mattress & box spring. Six king size pillows per bed.
- Bench at foot of bed
- Side tables on both sides of bed with adjustable table lamps and a telephone headset on each.
- Art & Accessories
- Gas fireplace
- Chair with small side table and floor lamp.
- Dresser with four drawers.
- Hanging Closet with electronic safe.
- Window covering
- HDTV - 27" widescreen flat panel
- Carpeted area
- Painted walls.

Bath

- Dramatic double sink vanity with slab granite or stone surface and designer faucets and fixtures.
- Lighted, wall mounted make up mirror.
- Glass shower areas with dual heads
- Soaking Tub
- Enclosed toilet area.
- Ceramic Tile Flooring.
- Painted walls.

The Second Master Bedroom

Bedroom

- King size bed with Sealy Posturepedic CloudNine Signature mattress & box spring. Six king size pillows per bed.
- Side tables on both sides of bed with adjustable table lamps and a telephone headset on each.

- Gas fireplace – signature art piece over fireplace
- Art & Accessories
- Dresser with four drawers.
- Hanging closet with electronic safe.
- Window covering.
- HDTV – 27" widescreen flat panel.
- Carpeted area
- Painted walls.

Bath

- Sink vanity with slab granite or stone surface and unique faucets and fixtures.
- Lighted, wall mounted make up mirror.
- Full width mirror in front of sink vanity
- Soaking Tub.
- Glass enclosed shower with two wall mounted shower heads.
- Enclosed toilet area
- Ceramic tile flooring
- Painted walls.

The Guest Bedroom Bedroom

- King size bed with Sealy Posturepedic CloudNine Signature mattress & box spring. Six king size pillows per bed.
- Side tables on both sides of bed with adjustable table lamps and a telephone headset on each.
- Art & Accessories
- Gas fireplace
- Dresser with four drawers.
- Hanging closet with electronic safe.
- Window covering.
- HDTV – 27" widescreen flat panel
- Carpeted area
- Painted walls.

Bath

- Sink vanity with slab granite or stone surface and unique faucets and fixtures.
- Lighted, wall mounted make up mirror.
- Glass enclosed shower with two wall mounted shower heads.
- Enclosed toilet area
- Ceramic Tile flooring
- Painted walls

Theater Den Area

Within certain three bedroom units there is an area that will serve as a Den for the residence.

Wet Bar

- Slab granite counter top
- Small bar sink
- Under counter refrigerator
- Microwave.
- HDTV – 32" widescreen flat panel

Seating Area

- Corner sectional with coffee table.
- Art & Accessories

Other Items

- Washer / dryer combo in closet.

EXHIBIT C-1
BUYER'S UNIT FLOOR PLAN

Schedule 2.26C
Minimum Unit Prices

[As of 3.29.06]

Summary, March 28, 2006									
UNIT	CHARTER PHASE		PHASE TWO		PHASE THREE		Update		
	PRICE	PRICE	PRICE	PRICE	PRICE	PRICE	PRICE	PRICE	PRICE
265	220,395	220,395	220,395	220,395	220,395	220,395	220,395	220,395	220,395
405	272,885	272,885	272,885	272,885	272,885	272,885	272,885	272,885	272,885
267	321,415	321,415	321,415	321,415	321,415	321,415	321,415	321,415	321,415
301	341,665	341,665	341,665	341,665	341,665	341,665	341,665	341,665	341,665
305	416,625	416,625	416,625	416,625	416,625	416,625	416,625	416,625	416,625
401	317,455	317,455	317,455	317,455	317,455	317,455	317,455	317,455	317,455
403	462,934	462,934	462,934	462,934	462,934	462,934	462,934	462,934	462,934
405	462,934	462,934	462,934	462,934	462,934	462,934	462,934	462,934	462,934
501	543,969	543,969	543,969	543,969	543,969	543,969	543,969	543,969	543,969
403	472,395	472,395	472,395	472,395	472,395	472,395	472,395	472,395	472,395
501	532,393	532,393	532,393	532,393	532,393	532,393	532,393	532,393	532,393

These plans, drawings, representations, photos, layouts, specifications, and square footage calculations for The Sky Lodge are preliminary and approximate in nature, contain general descriptions only, and are subject to change without notice. Prices subject to change without notice.

Schedule 2.27
Existing Insurance

1. There must be evidence of Builders Risk Insurance written on an All Risks/Special Form/or equivalent, Replacement Cost, no Co-insurance basis.
2. The limit under the Builders Risk Insurance to cover physical loss or damage must represent 100% of the hard construction costs and include not less than 25% of the total soft costs.
3. The Builders Risk policy must include a Permission to Occupy clause.
4. The Builders Risk policy must include Delayed Income insurance to cover the anticipated loss of revenue for one year, which may possibly be incurred in the event of an insured loss during construction.
5. If the Builders Risk Insurance is subject to any Warranties, the applicable Warranty wordings must be provided.
6. The Builders Risk Insurance must include full Law & Ordinance extensions to cover increased cost of construction to meet minimum bylaws that may be in force at the time of a loss; the cost of demolition of the undamaged portion of the property; and resultant loss of income.
7. There needs to be evidence of Flood Insurance, if the property is located in a flood prone, flood risk, or flood hazard area as designated pursuant to the Federal Flood Disaster Protection Act of 1973, as amended, and the regulations there under, or as otherwise required by BayNorth.
8. There must be evidence of Sewer Back-Up coverage.
9. The Builders Risk Insurance must include coverage for testing and commissioning of equipment.
10. If the subject location is insured under a "blanket" insurance policy, along with the "blanket" policy limit, we need to know what amounts have been specifically declared for physical loss or damage and resultant business interruption for the subject property under the statement of values filed with the insurers.
11. There must be a standard mortgage clause / lender's loss payable endorsement included in the Builders Risk Insurance and Boiler and Machinery Insurance.
12. Confirmation is required that terrorism is not excluded under the Builders Risk and Boiler and Machinery Insurance.
13. The Borrower must be a Named Insured under the Builders Risk and if applicable, Boiler and Machinery Insurance.
14. There must be evidence of the General Contractor's Liability Insurance covering their construction operations at this location, with a minimum limit of \$5,000,000 per occurrence.
15. The Borrower and BayNorth must both be Additional Insured under the General Contractor's Liability Insurance with respect to claims arising out of the operations of the Insured.
16. There must be evidence of the General Contractor's Workers Compensation Insurance, with the "all states" endorsement, covering all employees working on the site.
17. BayNorth must be shown as a secured party and Loss Payee under the Builders Risk and, if applicable, Boiler & Machinery Insurance.
18. All policies of insurance must provide BayNorth with at least 30 days prior written notice of cancellation, except for the non-payment of premium, in which case the Statutory Conditions may apply.
19. The location of the security property must be shown as an insured location on the insurance documentation.
20. The full legal description of the property insured needs to be shown on all insurance policies, as noted above.
21. The insurers, policy (or binder) numbers, policy limits, policy terms, and all applicable deductibles must be shown on the evidence of insurance. (The applicable deductibles can be advised separately in writing.)

22. The insurer must be minimum rated A VIII by A.M. Best or A-Standard & Poor's.
23. There must be evidence of the Professional Liability Insurance maintained by the architect(s), as well as that maintained by the engineer(s), engaged in the Project.
24. There must be evidence of Borrower's Workers Compensation Insurance, with the "all states" endorsement
25. There must be complete (including policy wordings), original, certified, endorsed copies of the Builders Risk, the Boiler and Machinery (if applicable) and the Borrower's Liability Insurance policies provided direct to BayNorth once they are available from the insurers.
26. Signed Certificates or Binders of Insurance addressing the above and copies of the Bonds will suffice as insurance evidence for closing purposes; with the certified policy copies to be provided direct to BayNorth once they are available from the insurers.

Schedule 2.30
Transactions With Related Parties

1. Carrie Shoaf, the spouse of William Shoaf, a Principal, is a real estate agent for Prudential Utah Real Estate. Carrie Shoaf is entitled to receive real estate sales commissions to be paid to all real estate agents selling Units, subject to the limitations set forth in this Agreement and otherwise consistent with the Construction Budget.
2. Development Agreement dated as of March 30, 2006 by and between Easy Street Partners LLC and Cloudnine Resorts/Sky Lodge Development Company L.L.C.
3. Sky Lodge Management Agreement dated as of March 30, 2006 by and between Easy Street Partners LLC and Cloudnine Resorts/Sky Lodge Management Company L.L.C.
4. Net Lease dated October 1, 2002 by and between Utah Coal and Lumber Restaurant, Inc. and Easy Street Brasserie, Inc. (Lease for Easy Street Brasserie Restaurant). Acknowledgement dated as of March 30, 2006 by and between Easy Street Brasserie, Inc. and Easy Street Partners, LLC.

Schedule 2.31
Bank Accounts

Easy Street Partners, LLC
Zions Bank
Park City Office
1100 Snow Creek Dr
Park City, UT 84060

Account number: 098014137

Borrower to establish separate bank account in the name of Easy Street Mezzanine LLC within
10 days of closing.

Schedule 2.32
Dates of Financial Statements

Please refer to Schedule 2.9B above.

Schedule 2.31
Bankruptcies and Foreclosures

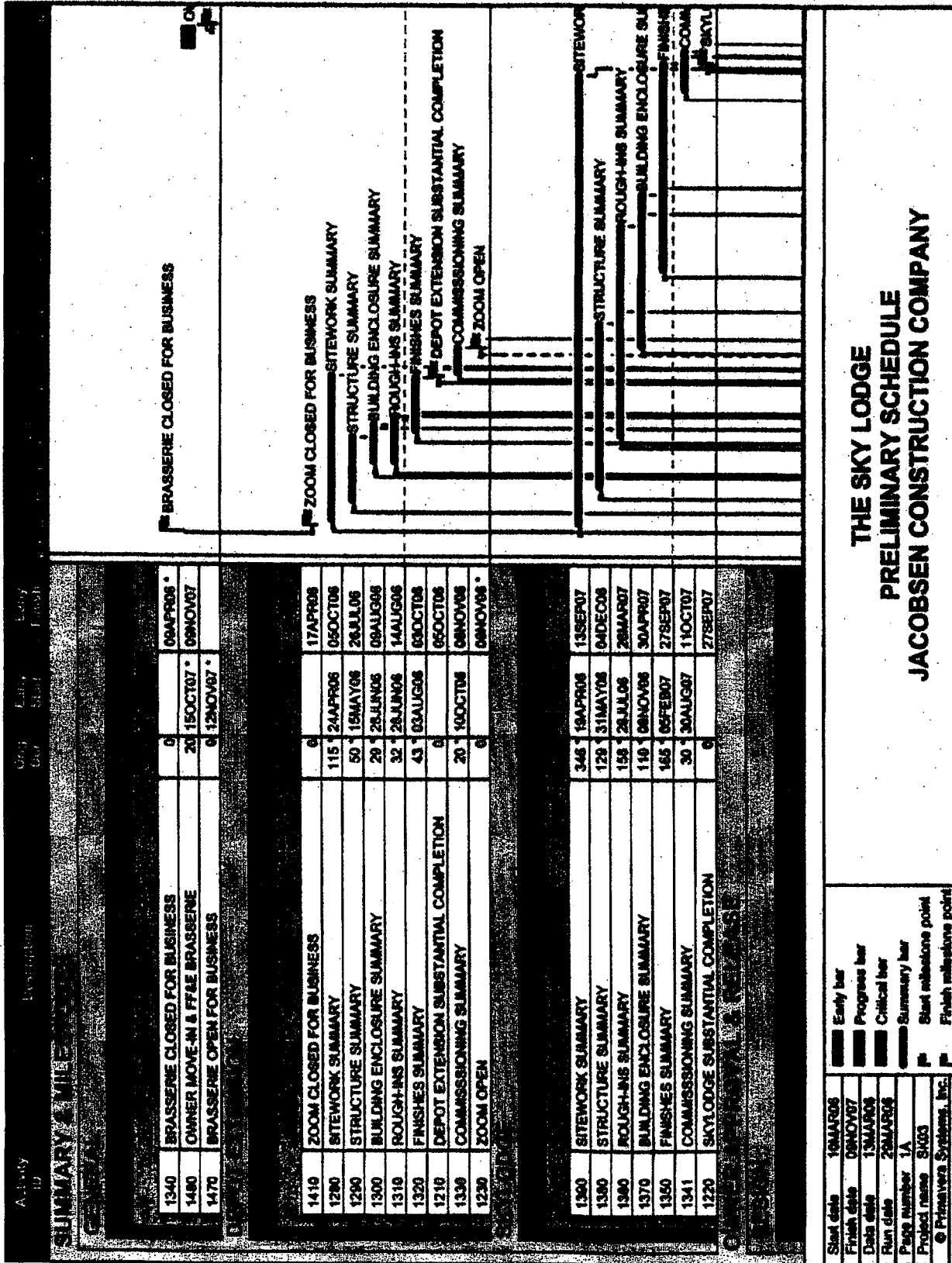
None

Schedule 3.1
Construction Schedule

Design & Construction Drawings / GMP Estimations
Final Drawings - GMP Bid Process
Building Permit
Final GMP
Site Work & Utilities
Footing & Foundations
Structural
Exterior Shell / Mechanical / Electrical
Interiors
FFE Install
CO

July - December 2005
January / February 2006
No later than April 13, 2006
No later than April 15, 2006
April - May 2006
May - July 2006
June - December 2006
November 2006 - April 2007
January - September 2007
July - September 2007
September 2007

Please also see attached.



Activity	Orig	Entry	Entry	Entry
(1)	Out	Start	Start	Finish
1075 Release Structural Steel Embed Shop Drawing	0	0	10MAR08	
1096 Release Electrical Design Assist	0	0	10MAR08	
1095 Release Utility Relocation	0	0	10MAR08	
1105 Release DEQ De-watering/Runoff Retention Plan	0	0	10MAR08	
1115 Release/Asbestos/Lead Survey/Sole Mgt. Plan	0	0	13MAR08	
1126 Release Mechanical Design Assist	0	0	13MAR08	
1135 Release Disposal Acceptance Letter	0	0	13MAR08	
1145 Release Shoring Shop Drawings	0	0	15MAR08	
1155 Release Wood Flooring Removal	0	0	15MAR08	
1165 Release Steel Reinforcement Shop Drawings	0	0	15MAR08	
1175 Release Tack Sheet Relocation	0	0	31MAR08	
1185 Release Demolition	0	0	03APR08	
1195 GMP set and Master Contract Completed	0	0	17APR08	
CONSTRUCTION				
1015 City Structural & Architectural Review	0	0	10MAR08	
1025 Produce De-watering System Design	5	13MAR08	17MAR08	
1035 Produce Storm Runoff System Design	5	13MAR08	17MAR08	
1045 Produce Site Management Plan	5	14MAR08	20MAR08	
1055 Produce Shoring Shop Drawings	15	18MAR08	05APR08	
1065 Produce Disposal Acceptance Letter	5	21MAR08	27MAR08	
PERMIT				
1030 Submit & Review DEQ De-watering Permit to State	0	20MAR08	29MAR08	
1040 Submit & Review DEQ Storm Runoff Permit to State	0	20MAR08	29MAR08	
1050 State Issue DEQ De-watering Permit	0	0	29MAR08	
1060 State Issue DEQ Storm Runoff Permit	0	0	29MAR08	
1070 Submit & Review Part City Demo Permit	15	30MAR08	18APR08	
1080 Submit & Review City Shoring & Excavation Permit	20	05APR08	02MAY08	
1085 Issue Part City Demo Permit	0	0	18APR08	

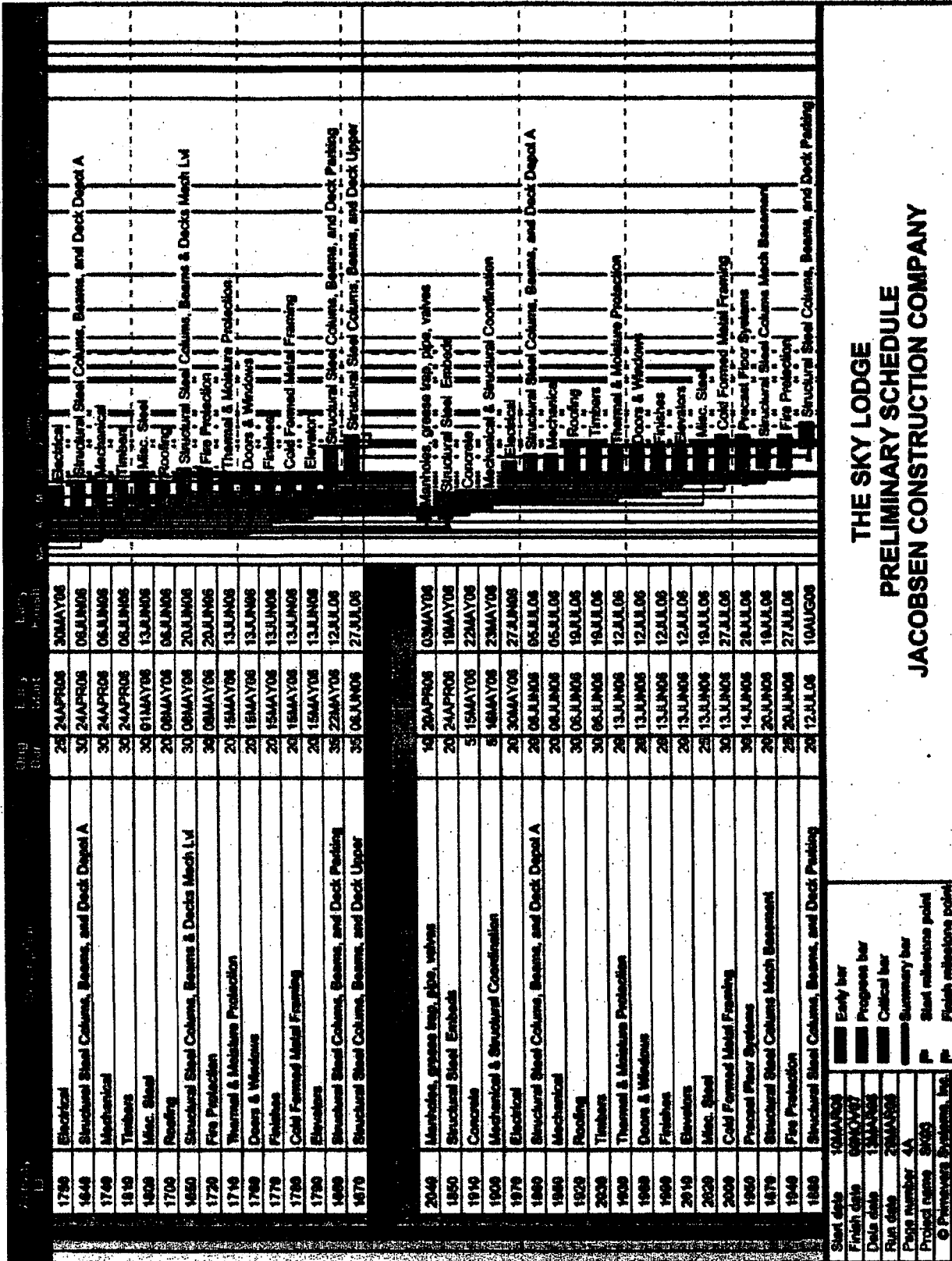
**THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY**

Start date	10MAR08
Finish date	08NOV07
Date date	13MAR08
Run date	20MAR08
Page number	2A
Project name	SK03
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Activity		Description		Orig	Early	Early	Finish
				Qty	Start	Start	Finish
1100	Issue Park City Shoring & Excavation Permit			6	02MAY06	02MAY06	
1110	Submit and Review City Building Permit			15	03MAY06	23MAY06	
1125	Issue Park City Building Permit			6	03MAY06	23MAY06	
1411	Structural Steel Embeds			1	13MAR06	13MAR06	
1400	Shoring & Excavation			1	16MAR06	16MAR06	
1608	Manholes, grease trap, pipe, valves			10	17MAR06	30MAR06	
1610	Site dewatering system			10	17MAR06	30MAR06	
3150	Precast Floor system			1	17APR06	18APR06	
1420	Structural Steel Columns, Beams, and Deck Deck A			5	17APR06	24APR06	
1438	Structural Steel Columns, Beams, & Deck Mech Lvl			5	17APR06	24APR06	
1441	Structural Steel Columns, Beams, and Deck Parking			5	17APR06	24APR06	
1450	Structural Steel Columns, Beams, and Deck Levels			5	17APR06	24APR06	
1471	Concrete			5	17APR06	24APR06	
1520	Mechanical			5	17APR06	24APR06	
1530	Electrical			5	17APR06	24APR06	
1560	Timbers			5	17APR06	24APR06	
1580	Misc. Steel			10	17APR06	01MAY06	
1481	Roofing			15	17APR06	08MAY06	
1508	Fire Protection			15	17APR06	08MAY06	
1498	Thermal & Moisture Protection			20	17APR06	15MAY06	
1540	Doors & Windows			20	17APR06	15MAY06	
1550	Finishes			20	17APR06	15MAY06	
1560	Cold Formed Metal Framing			20	17APR06	15MAY06	
1570	Elevators			20	17APR06	15MAY06	
1630	Structural Steel Embeds			30	14MAR06	21APR06	
1620	Shoring Simultaneous Review W/ City			30	17MAR06	26APR06	
1620	Manholes, grease trap, pipe, valves			15	31MAR06	19APR06	
1460	Mechanical & Structural Coordination Drawings			20	18APR06	16MAY06	
1438	Precast Floor Systems			40	18APR06	14JUN06	
1480	Concrete			15	24APR06	15MAY06	

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	10MAR06	Early bar
Finish date	06MAY07	Progress bar
Date date	13MAY06	Critical bar
Run date	20MAR06	Summary bar
Page number	3A	
Project name	SK03	
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Activity		Description		Start		Finish	
Activity	Code	Description	Start	Finish	Activity	Code	Description
1200	Structural Steel Columns, Beams, and Deck Levels	15SEP06	35	27JUL06	15SEP06		
2520	Tennisha Heber Avenue Questar Gas Service	0	0	17APR06			
2540	Demo and Relocate Tack Shed	5	19APR06	25APR06			
2630	Demo Zoom Restaurant	10	24APR06	09MAY06			
2630	Relocate Site Utilities/Connect to N Storm Drain	10	26APR06	09MAY06			
2180	Excavate/Shore Depot Area	7	03MAY06	11MAY06			
2230	Excavate Footings Depot Area	1	12MAY06	12MAY06			
2310	Backfill/install drainage/waterproof Depot area	5	21JUN06	27JUN06			
2340	Form Footings / Depot	3	15MAY06	17MAY06			
2350	Place rebar Depot Footings	2	18MAY06	19MAY06			
2360	Place Concrete Footings / Depot	1	22MAY06	22MAY06			
2380	Place rebar Foundations/Depot	2	23MAY06	24MAY06			
2370	Form Foundations / Depot	5	25MAY06	01JUN06			
2390	Place Concrete Foundations/Depot	1	02JUN06	02JUN06			
2660	Install MEP underground Depot Area	3	05JUN06	07JUN06			
2670	Place Depot Basement SOG	2	06JUN06	06JUN06			
1200	Place SOG and SOG @ Depot 98' level	2	19JUN06	20JUN06			
1190	Install CMU Walls to 114' Level	5	21JUN06	27JUN06			
1260	Place SOG @ Depot 108' level	2	06JUL06	07JUL06			
1160	Set Beams, Joists, and Deck @ Depot 98' level	5	12JUN06	16JUN06			
1240	Set Beams, Joists, and Deck @ 108' level	5	26JUN06	05JUL06			
1245	Install Metal Stairs, Landings, and Railings	5	10JUL06	14JUL06			

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	10MAR06	Early bar
Finish date	09NOV07	Progress bar
Date date	13MAR06	Critical bar
Run date	29MAR06	Summary bar
Page number	5A	Start milestone point
Project name	88/03	Finish milestone point
© Patterson Systems, Inc.		

Activity	Qty	Unit	Early Start	Early Finish
1120	Frame & Sheath Wood Walls @ Depot Extension	5	26JUN06	05JUL06
1250	Install Depot Extension Lower Wood Beams & Roof	5	05JUL06	12JUL06
4880	Install Windows/Doors	5	13JUL06	19JUL06
4870	Set Timbers Levels 1 & 2	10	13JUL06	27JUL06
2020	Frame & Sheath Wood Knee Walls 11'4" to 11'7"	2	10JUL06	11JUL06
2025	Set Chiller on Deck before Roof is Enclosed	1	10JUL06	19JUL06
4820	Install Wood Roof Structure @ 11'7" Level	4	20JUL06	26JUL06
4830	Install Metal Roofing & Shingles @ all Depot Roof	5	27JUL06	02AUG06
5000	Install Siding & Trim all levels	10	27JUL06	09AUG06
4840	Scaffold Building Exterior	5	26JUN06	05JUL06
4850	Install Elevator Equipment	30	27JUL06	07SEP06
4860	Elevator Operational	15	08SEP06	28SEP06
5010	Frame Interior Walls/Install Door Frames	5	21JUN06	27JUN06
5030	Wall Rough-In	3	28JUN06	30JUN06
5020	Overhead Rough-In	5	29JUN06	05JUL06
5200	Frame Interior Walls/Install Door Frames	5	10JUL06	14JUL06
5220	Wall Rough-In	8	17JUL06	27JUL06
5210	Overhead Rough-In	12	23JUL06	14AUG06
5300	Drywall, Tape, and Finish	8	09AUG06	14AUG06
5330	Paint walls, ceilings, and doors	2	15AUG06	18AUG06
5340	Install Suspended Ceilings	2	17AUG06	18AUG06
5350	Install MEP Finish	2	21AUG06	22AUG06
5400	Install Mirrors, Hardware, Specialties	1	23AUG06	23AUG06
5410	Install Floor Coverings	2	24AUG06	25AUG06
5420	Punchlist	2	28AUG06	29AUG06

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	10AUG06
Finish date	08NOV07
Date date	13AUG06
Run date	20AUG06
Page number	6A
Project name	3003
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Activity	Duration	Early Start	Early Finish
5500 Drywall, Tape, and Finish	15	15AUG06	06SEP06
5510 Paint walls, ceilings, and doors	6	06SEP06	13SEP06
5520 Install Suspended Ceilings	3	14SEP06	18SEP06
5530 Install MEP Finish	5	19SEP06	25SEP06
5540 Install Mirrors, Hardware, Specialties	2	26SEP06	27SEP06
5570 Install Kitchen Equipment	10	28SEP06	08OCT06
5580 Install Floor Coverings	4	28SEP06	03OCT06
5590 Purchase	2	04OCT06	06OCT06
1150 Start Up and Connection Mech Equipment	10	19OCT06	23OCT06
1170 C of O Inspections for Depot Extension	10	24OCT06	08NOV06
2050 Demo Grease Trap	5	19APR06	25APR06
2130 Install Temp Power	5	19APR06	25APR06
2140 Install Site Fencing	5	19APR06	25APR06
2150 Demo Easy Street	10	18APR06	02MAY06
2070 Demo Easy Street	5	25APR06	02MAY06
2110 Relocate Cable TV	5	26APR06	02MAY06
2160 Bore wall points	2	03MAY06	04MAY06
2170 Install Pumps and Piping for well points	5	05MAY06	10MAY06
2180 Excavate/Shore grid 1-8	12	12MAY06	30MAY06
2270 Excavate footings grid 1-8	2	28MAY06	30MAY06
2200 Excavate/Shore Crane Footing	2	31MAY06	01JUN06
2210 Excavate/Shore Mech. Basement	5	31MAY06	06JUN06
2120 Install new grease trap	5	02JUN06	06JUN06
2240 Excavate Footings Mech. Area	1	07JUN06	07JUN06
2260 Excavate/Shore 8-17	15	07JUN06	27JUN06
2280 Excavate footings grid 8-17	3	28JUN06	30JUN06
2290 Install sub slab drainage system Grids 1-8	5	07JUL06	13JUL06
2250 Waterproof Mechanical Basement	5	28JUL06	03AUG06
2260 Backfill mech basement & install drainage syst	5	04AUG06	10AUG06

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	10AUG06
Finish date	05NOV07
Date date	13AUG06
Run date	25AUG06
Page number	7A
Project name	SK03
Owner	O Primevera Systems, Inc.

Activity	Start Date	Early Start	Early Finish	Description
2308	05/04/06	05/04/06	05/04/06	Install sub slab drainage system Grids 8-17
2320	10/12/06	10/12/06	10/12/06	Backfill / install drainage/waterproof Grid 1-8
2330	10/26/06	10/26/06	09/06/06	Backfill / install drainage/waterproof grid 8-17
2406	08/01/06	08/01/06	08/01/06	Form Footings / Mech Basement
2416	12/12/06	12/12/06	13/12/06	Place rebar Footings Mech Basement
2420	14/01/06	14/01/06	14/01/06	Place Concrete Footings/Mech Basement
2446	15/01/06	15/01/06	15/01/06	Place rebar Foundations/Mech Basement
2439	19/01/06	19/01/06	23/01/06	Form Foundations Mech Basement
2450	26/01/06	26/01/06	26/01/06	Place Concrete Foundations/Mech Basement
2666	05/27/06	05/27/06	05/27/06	Install MEP underground mech basement
2690	05/05/06	05/05/06	05/05/06	Place SOG Mech Basement
2468	05/31/06	05/31/06	06/01/06	Form Footings / Grids 1-8
2666	06/02/06	06/02/06	06/02/06	Form Tower Crane Footing
2666	06/05/06	06/05/06	06/05/06	Place rebar Tower Crane Footing
2479	06/05/06	06/05/06	06/05/06	Install rebar Footings Grids 1-8
2678	06/06/06	06/06/06	06/06/06	Place concrete Tower Crane Footing
2468	06/06/06	06/06/06	06/06/06	Place Concrete Footings / Grids 1-8
2666	06/12/06	06/12/06	06/12/06	Install rebar Foundations Grids 1-8
2490	14/01/06	14/01/06	14/01/06	Form Foundations Grids 1-8
2666	05/28/06	05/28/06	05/28/06	Form Footings Grids 8-17
2666	06/03/06	06/03/06	06/03/06	Install rebar Footings Grids 8-17
2516	06/06/06	06/06/06	06/06/06	Place Concrete Foundations Grids 1-8
2726	06/07/06	06/07/06	06/07/06	Install rebar Foundations Grids 8-17
2908	06/07/06	06/07/06	06/07/06	Install MEP underground grid 1-8
2700	10/10/06	10/10/06	10/10/06	Place Concrete Footings Grids 8-17
2710	12/12/06	12/12/06	02/01/06	Form Foundations Grids 8-17
2816	21/01/06	21/01/06	27/01/06	Place SOG grid 1-8
3266	03/01/06	03/01/06	03/01/06	Place SOG Mechanical Basement
2726	03/01/06	03/01/06	03/01/06	Place Concrete Foundations Grids 8-17
2778	03/01/06	03/01/06	03/01/06	Form Parking Ramp Walls
2926	06/01/06	06/01/06	17/01/06	Install MEP underground grid 8-17
3000	06/01/06	06/01/06	24/01/06	Form & Place Suspended Slab for Pool
2780	10/01/06	10/01/06	10/01/06	Place Concrete Ramp Walls
Start date	02/01/06			Early bar
Finish date	06/01/06			Progress bar
Date date	13/01/06			Critical bar
Run date	23/01/06			Summary bar
Page number	8A			Start milestone point
Project name	8403			Finish milestone point
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THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Activity		Description		Early Start	Early Stop	Early Finish
2530	Place SOG Grid 8-17			4/18/JUN/06		23/AUG/06
2550	Form, Rebar & Place North Stair Tower - Parking			5/27/JUN/06		03/JUL/06
2560	Form, Rebar & Place North Stair Tower - L1			5/06/JUL/06		11/JUL/06
2740	Form Footings South Stair Tower			1/06/JUL/06		06/JUL/06
2750	Place rebar Footings South Stair Tower			1/07/JUL/06		07/JUL/06
2760	Place Concrete Footings South Stair Tower			1/10/JUL/06		10/JUL/06
2790	Form, Rebar & Place South Stair Tower - Parking			5/11/JUL/06		17/JUL/06
2870	Form, Rebar & Place North Stair Tower - L2			5/12/JUL/06		18/JUL/06
2900	Form, Rebar & Place South Stair Tower - L1			5/18/JUL/06		25/JUL/06
2980	Form, Rebar & Place North Stair Tower - L3			5/19/JUL/06		26/JUL/06
2810	Form, Rebar & Place South Stair Tower - L2			5/26/JUL/06		01/AUG/06
2820	Form, Rebar & Place North Stair Tower - L4			5/27/JUL/06		02/AUG/06
2830	Form, Rebar & Place South Stair Tower - L3			5/02/AUG/06		08/AUG/06
2800	Form, Rebar & Place North Stair Tower - L5			5/03/AUG/06		09/AUG/06
2830	Form, Rebar & Place South Stair Tower - L4			5/08/AUG/06		15/AUG/06
2810	Form, Rebar & Place North Stair Tower - L6			5/10/AUG/06		16/AUG/06
2840	Form, Rebar & Place South Stair Tower - L5			5/16/AUG/06		22/AUG/06
2860	Form, Rebar & Place South Stair Tower - L6			5/23/AUG/06		29/AUG/06
3070	Place Tack Slab			2/01/SEP/06		05/SEP/06
2940	MEP Pre Slab Rough-In Level 1			5/03/OCT/06		06/OCT/06
2950	Place Topping Slab Level 1			4/06/OCT/06		11/OCT/06
3060	MEP Pre Slab Rough-In Main Plaza Level 1			5/10/APR/07		16/APR/07
3110	Install waterproofing & tapered insulation Level			4/17/APR/07		20/APR/07
3080	Place Topping Slab Main Plaza Level			5/23/APR/07		27/APR/07
2990	MEP Pre Slab Rough-In Level 2			5/27/OCT/06		02/NOV/06
2970	Place Topping Slab Level 2			4/03/NOV/06		08/NOV/06
2980	MEP Pre Slab Rough-In Level 3			5/03/NOV/06		08/NOV/06
2990	Place Topping Slab Level 3			4/10/NOV/06		15/NOV/06
3000	MEP Pre Slab Rough-In Level 4			5/17/NOV/06		27/NOV/06
3100	MEP Pre Slab Rough-In Level 4 Sky Club Plaza			3/28/NOV/06		30/NOV/06

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	19/MAR/06
Finish date	06/NOV/07
Draw date	13/MAR/06
Run date	29/AUG/06
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Project name	SK03
Project manager	© Primavera Systems, Inc.

Activity ID	Description	Orig. Dur.	Early Start	Early Finish
3010	Place Topping Slab Level 4	4	28NOV08	01DEC08
3120	Place Topping Slab Level 4 Sky Club Plaza	2	04DEC08	06DEC08
3020	MEP Pre Slab Rough-In Level 5	5	05DEC08	11DEC08
3030	Place Topping Slab Level 5	4	12DEC08	16DEC08
3040	MEP Pre Slab Rough-In Level 6	5	12DEC08	18DEC08
3050	Place Topping Slab Level 6	4	19DEC08	22DEC08
3140	Place levels 2-6 balcony topping slabs	20	27DEC08	05FEB09
3170	Install Columns and Braced Frames	5	11JUL08	17JUL08
3180	Install Columns, Beams & Deck Mech. Basement	5	18JUL08	26JUL08
3190	Install Columns, beams, deck, and Braced Frames	15	17AUG08	07SEP08
3200	Install precast floor level 1	4	28AUG08	31AUG08
3210	Install Columns, beams, deck, and Braced Frames	15	01SEP08	22SEP08
3220	Install precast floor level 2	4	21SEP08	26SEP08
3230	Install Columns, beams, deck, and Braced Frames	15	11SEP08	28SEP08
3240	Install precast floor level 3	4	27SEP08	02OCT08
3250	Install Stairs Garage Level to Level 3	3	03NOV08	07NOV08
3260	Install Columns, beams, deck, and Braced Frames	15	03OCT08	23OCT08
3270	Install precast floor level 4	5	20OCT08	26OCT08
3280	Install Columns, beams, deck, and Braced Frames	15	10OCT08	30OCT08
3290	Install precast floor level 5	5	27OCT08	02NOV08
3300	Install Stairs Level 3 to Level 5	2	06DEC08	08DEC08
3310	Install Columns, beams, deck, and Braced Frames	15	03NOV08	27NOV08
3320	Install precast floor level 6	5	10NOV08	16NOV08

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	10MAR08
Finish date	08NOV08
Delta date	13MAR08
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Project name	SK03
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Activity ID	Description	Orig. Dur.	Early Start	Early Finish
3320	Install Stairs Level 5 to Level 6	1	12DEC06	12DEC06
4880	Install Roof Beams & Steel Deck	10	17NOV06	04DEC06
3730	Install Elevator Cabs	18	13MAR06	24MAR06
3720	Elevators Operational	6	27MAR06	24MAR06
3340	Scaffold Building Exterior	28	07NOV06	13DEC06
3710	Install Elevator Equipment Main Building	30	08DEC06	30JAN07
3360	Frame & Sheath Exterior Walls Level 1-2	15	08NOV06	01DEC06
3370	Install Flashings/Railing Mounts/Deck Drain Chan	10	04DEC06	15DEC06
3380	Set Timbers Level 1-2	18	04DEC06	22DEC06
3380	Install Windows/Doors Level 1-2	6	18DEC06	22DEC06
3390	Install Siding Level 1-2	15	27DEC06	18JAN07
3400	Install Balcony Railings/Parapet Caps Level 1-2	15	30JAN07	19FEB07
3410	Frame & Sheath Exterior Walls Level 2-3	15	27NOV06	15DEC06
3430	Install Flashings/Railing Mounts/Deck Drain Chan	10	18DEC06	04JAN07
3420	Set Timbers Level 2-3	18	18DEC06	11JAN07
3440	Install Windows/Doors Level 2-3	6	05JAN07	11JAN07
3450	Install Siding Level 2-3	15	12JAN07	12FEB07
3460	Install Balcony Railings/Parapet Caps Level 2-3	15	13FEB07	08MAR07
4910	Install Roof Penetrations @ Main Entry	3	18NOV06	20NOV06
3810	Install Roofing Above Main Entry	18	21NOV06	13DEC06
3470	Frame & Sheath Exterior Walls Level 3-4	18	11DEC06	04JAN07
3490	Install Flashings/Railing Mounts/Deck Drain Chan	10	05JAN07	18JAN07
3480	Set Timbers Level 3-4	18	06JAN07	06FEB07
3500	Install Windows/Doors Level 3-4	6	30JAN07	06FEB07
3510	Install Siding Level 3-4	15	06FEB07	28FEB07
3520	Install Balcony Railings/Parapet Caps Level 3-4	15	27FEB07	19MAR07
3530	Frame & Sheath Exterior Walls Level 4-5	18	27DEC06	18JAN07
3560	Install Flashings/Railing Mounts/Deck Drain Chan	10	30JAN07	12FEB07

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	19MAR06
Finish date	06NOV07
Delta date	13MAR06
Run date	29MAR06
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Project name	SK03
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Activity	Start	End	Entry
3540 Set Timbers Level 4-5	15 30JAN07	19FEB07	
3550 Install Windows/Doors Level 4-5	5 13FEB07	19FEB07	
3570 Install Siding Level 4-5	15 20FEB07	12MAR07	
3580 Install Balcony Railings/Parapet Caps Level 4-5	15 13MAR07	02APR07	
3590 Frame & Sheath Exterior Walls Level 5-6	15 12JAN07	12FEB07	
3610 Install Flashings/Railing Mounts/Dock Drain Chen	10 13FEB07	28FEB07	
3630 Set Timbers Level 5-6	15 13FEB07	03MAR07	
3620 Install Windows/Doors Level 5-6	5 27FEB07	06MAR07	
3630 Install Siding Level 5-6	15 03MAR07	28MAR07	
3640 Install Balcony Railings/Parapet Caps Level 5-6	15 27MAR07	18APR07	
4020 Install Roof Penetrations A Top of Building	4 27DEC06	03JAN07	
4000 Install Top of Building Roofing	15 04JAN07	02FEB07	
3650 Frame & Sheath Exterior Walls Level 6-Roof	15 08FEB07	28FEB07	
3670 Install Flashings/Railing Mounts/Dock Drain Chen	10 27FEB07	12MAR07	
3680 Set Timbers Level 6-R	15 27FEB07	19MAR07	
3690 Install Windows/Doors Level 6-R	5 13MAR07	18MAR07	
3690 Install Siding Level 6-R	15 20MAR07	09APR07	
3700 Install Balcony Railings/Parapet Caps Level 6-R	15 10APR07	30APR07	
3820 Rough-In Mechanical Basement	20 24JUL06	24AUG06	
3870 Set Pumps and Equipment	35 25AUG06	13OCT06	
3740 Frame Interior Walls/Install Door Frames Garage	3 12OCT06	16OCT06	
3840 Wall Rough-In Garage Level	5 17OCT06	23OCT06	
3830 Overhead Rough-In Garage Level	15 24OCT06	13NOV06	
3750 Frame Interior Walls/Install Door Frames Level 1	5 18NOV06	22NOV06	
4190 Rough-In Pool and Spa Equipment	10 27NOV06	08DEC06	
3880 Wall Rough-In Level 1	10 04DEC06	15DEC06	
3850 Overhead Rough-In Level 1	15 27DEC06	18JAN07	
3760 Frame Interior Walls/Install Door Frames & Entry	15 04DEC06	22DEC06	

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	10MAR06
Finish date	08NOV07
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Project name	SK03
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Activity ID	Description	Orig. Dur.	Early Start	Early Finish
4170	Install Entryway Beams	15	11DEC08	04JAN07
3880	Wall Rough-In Level 2	10	27DEC08	11JAN07
3870	Overhead Rough-In Level 2	15	12JAN07	12FEB07
3770	Frame Interior Walls/Install Door Frames Level 3	5	18DEC08	22DEC08
3900	Wall Rough-In Level 3	10	27DEC08	11JAN07
3860	Overhead Rough-In Level 3	18	12JAN07	12FEB07
3780	Frame Interior Walls/Install Door Frames Level 4	5	05JAN07	11JAN07
3820	Wall Rough-In Level 4	10	12JAN07	06FEB07
3810	Overhead Rough-In Level 4	18	08FEB07	28FEB07
3790	Frame Interior Walls/Install Door Frames Level 5	5	30JAN07	05FEB07
3940	Wall Rough-In Level 5	10	08FEB07	19FEB07
3930	Overhead Rough-In Level 5	18	20FEB07	12MAR07
3800	Frame Interior Walls/Install Door Frames Level 6	5	13FEB07	18FEB07
3960	Wall Rough-In Level 6	10	20FEB07	05MAR07
3950	Overhead Rough-In Level 6	18	08MAR07	28MAR07
4040	Install Drywall, Taps, and Finish	10	30APR07	11MAY07
3980	Install Doors	5	14MAY07	18MAY07
4000	Paint Walls, Ceilings, and Doors	10	21MAY07	04JUN07
4010	Install Millwork/Lecture	5	05JUN07	11JUN07
4020	Install MEP Finish	10	05JUN07	18JUN07
4030	Install Floor Coverings	5	19JUN07	25JUN07
4040	Install Drywall, Taps, and Finish	25	05FEB07	08MAR07
4050	Set Doors	5	12MAR07	16MAR07
4190	Install Pool & Spa Tile/Plaster	10	12MAR07	23MAR07
4060	Install Bathroom & Laundry Tile	5	28MAR07	30MAR07
4070	Paint Walls, Ceilings, and Doors	15	02APR07	20APR07
4080	Install Suspended Ceilings	10	23APR07	04MAY07
4090	Install Tile & Stone Floors	15	23APR07	11MAY07

THE SKY LODGE
PRELIMINARY SCHEDULE
JACOBSEN CONSTRUCTION COMPANY

Start date	18JAN08
Finish date	08MAY07
Data date	13JAN08
Run date	28MAR08
Page number	13A
Project name	SK03
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